

CodeNEXT Overview

August 19, 2016

CODENEXT
SHAPING THE AUSTIN WE IMAGINE
Code Development Team

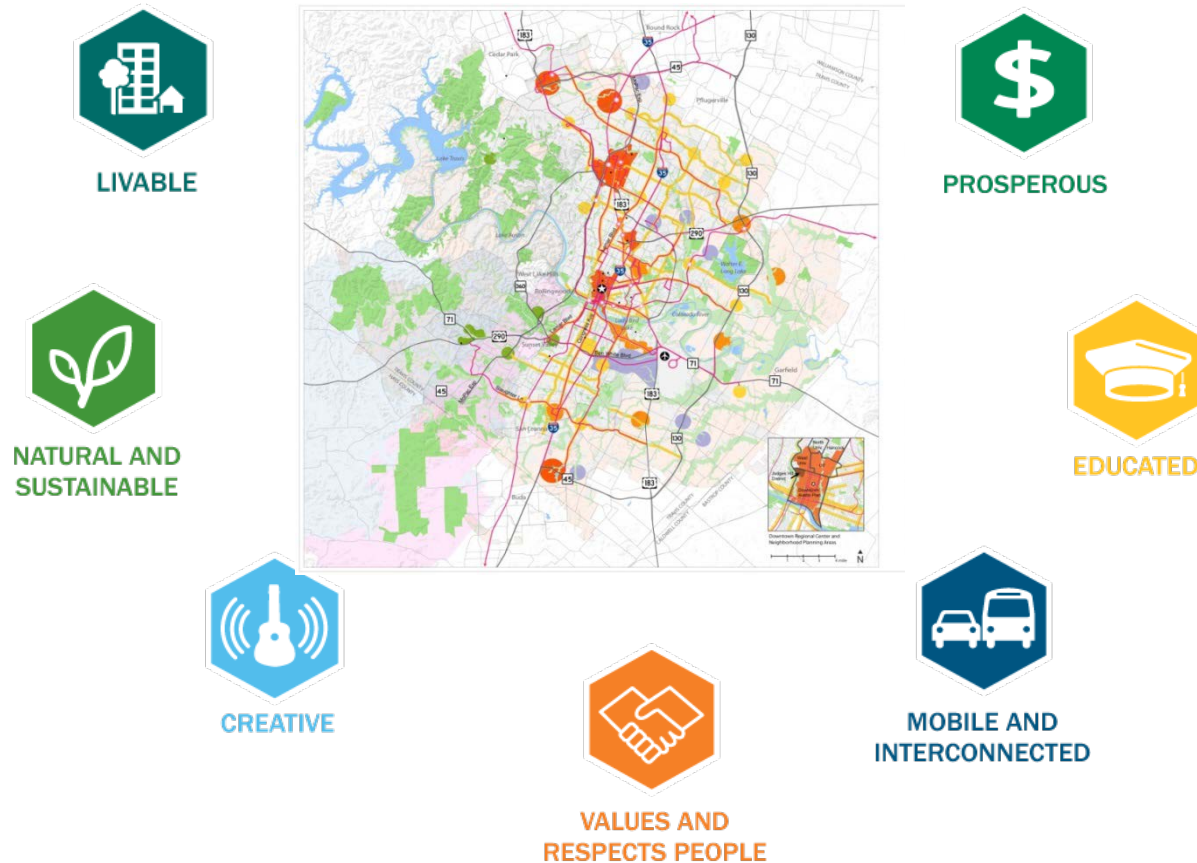


Imagine Austin Policy

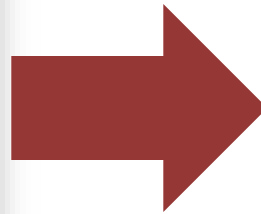


Imagine Austin Policy Direction

A City of Complete Communities



Imagine Austin Policy Direction



CODENEXT
SHAPING THE AUSTIN WE IMAGINE

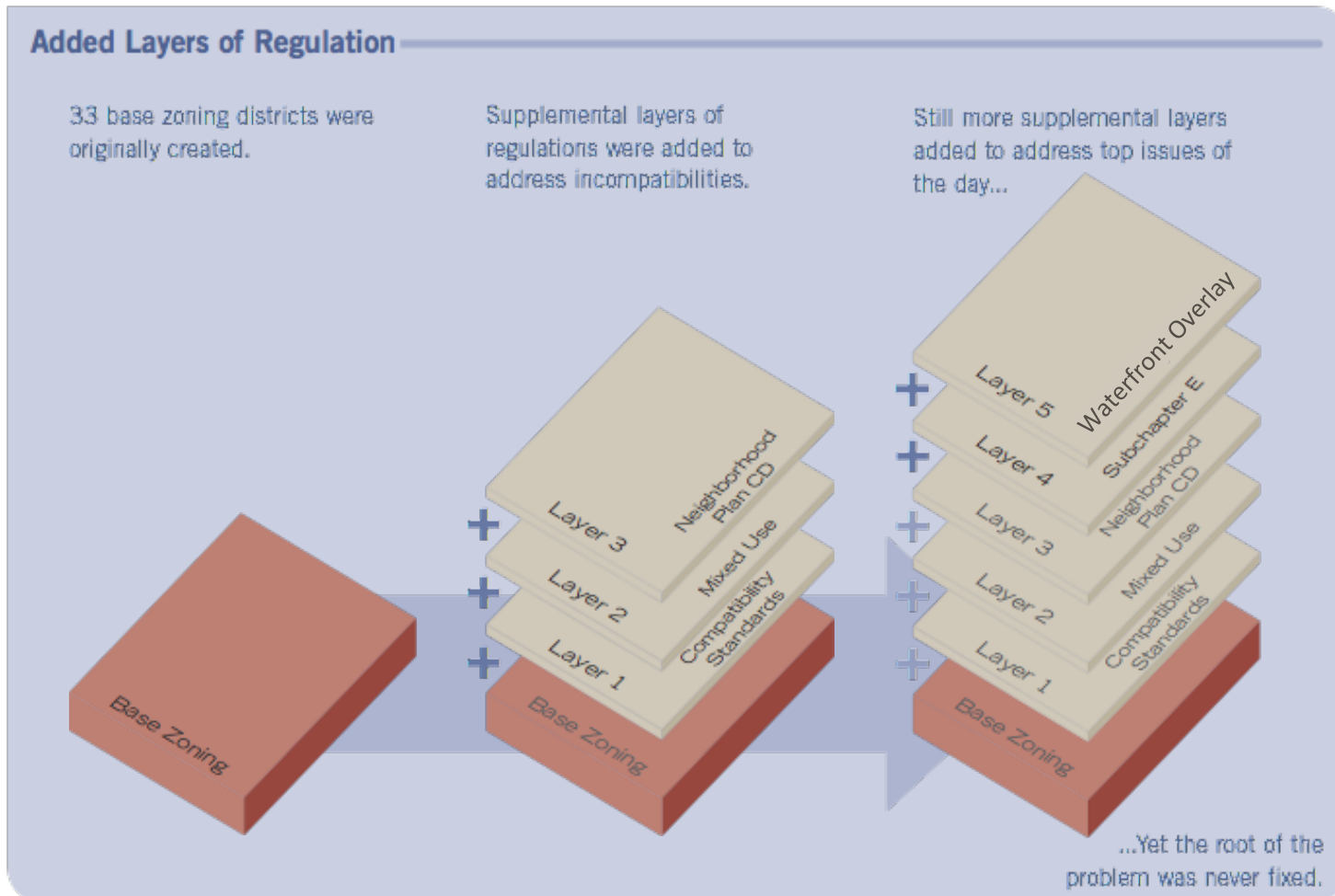
One implementation tool of Imagine Austin...

What is CodeNEXT?

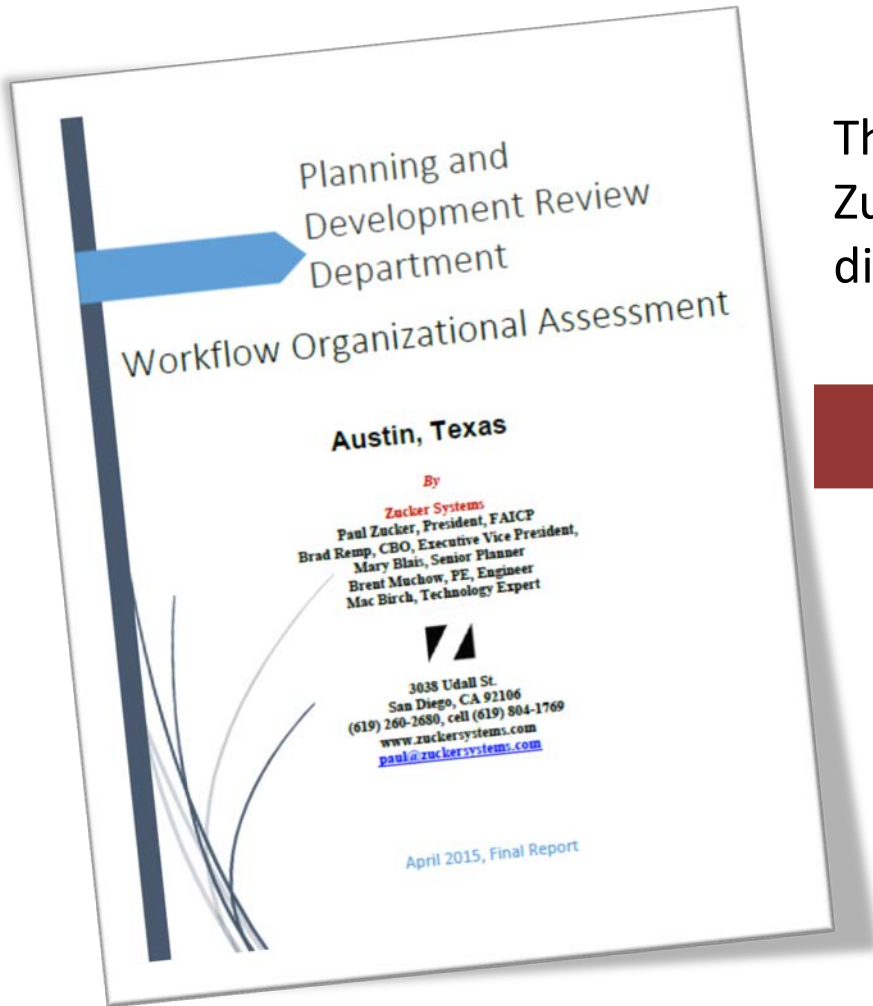


What is CodeNEXT?

Address the current state of our Code.



What is CodeNEXT?



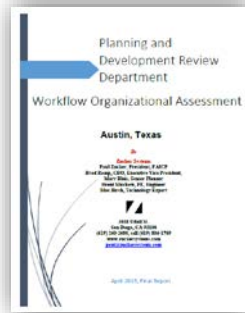
There were many recommendations in the Zucker report but in a nutshell, the ones that directly affect Code are:

- Fix the Land Development Code
- Improve the review process

CODENEXT
SHAPING THE AUSTIN WE IMAGINE



What is CodeNEXT?



STAFF



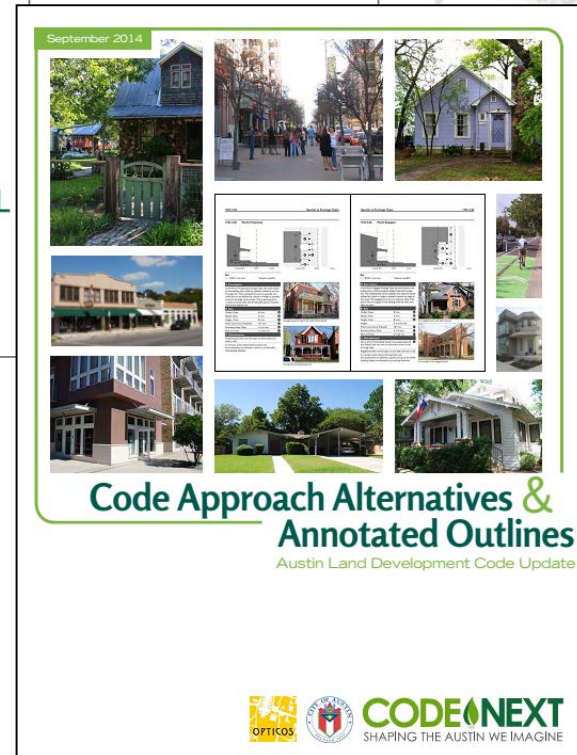
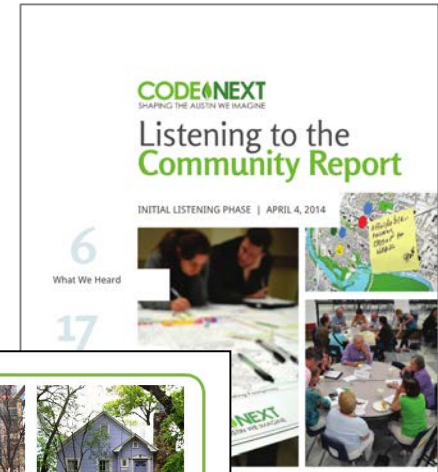
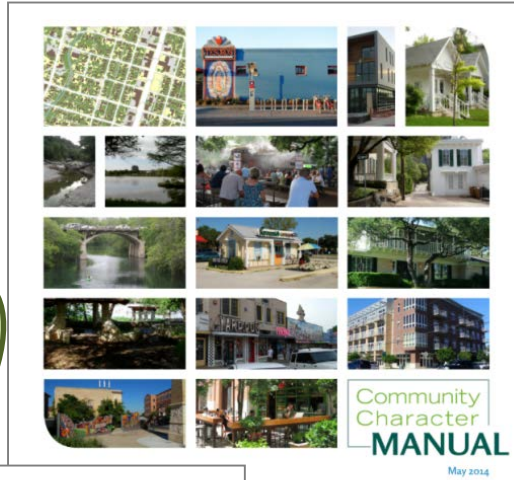
**Improvements
to the
LDC**

CODENEXT
SHAPING THE AUSTIN WE IMAGINE

What is CodeNEXT?

Work accomplished so far

YOU NEED TO READ THIS




What is CodeNEXT?

Work accomplished so far. Code Prescriptions: Tradeoffs

Natural and Built Environment


Household Affordability

Mobility



The Next Austin:
Manage our growth, keep our character
Natural and Built Environment Code Prescription
DRAFT

The physical form of Austin not only shapes how the city functions, it also is an expression of our city's values and the experience people have living here. The Land Development Code reflects a grand balancing of our public values – livability, affordability, environmental protection, mobility, thriving economy, and preservation versus change.




Developing Complete Communities for all Austinites:
Household Affordability Code Prescription

Affordability affects everyone directly or indirectly including renters, those on a fixed income or in the low and middle income brackets, musicians and artists, senior citizens, and families with children. A revised Land Development Code can provide flexibility to build more affordable housing options and reduce regulatory barriers so more resources can go toward providing housing that is affordable to more people.




Moving Austin toward becoming a more multimodal city:
Mobility Code Prescription

Transportation affects Austinites' daily lives in ways beyond being stuck in traffic. It can help or hinder issues of how and where development occurs, and affects affordability, safety, and health. A revised Land Development Code is an important tool for addressing many of the transportation challenges Austinites face.



Code Prescriptions

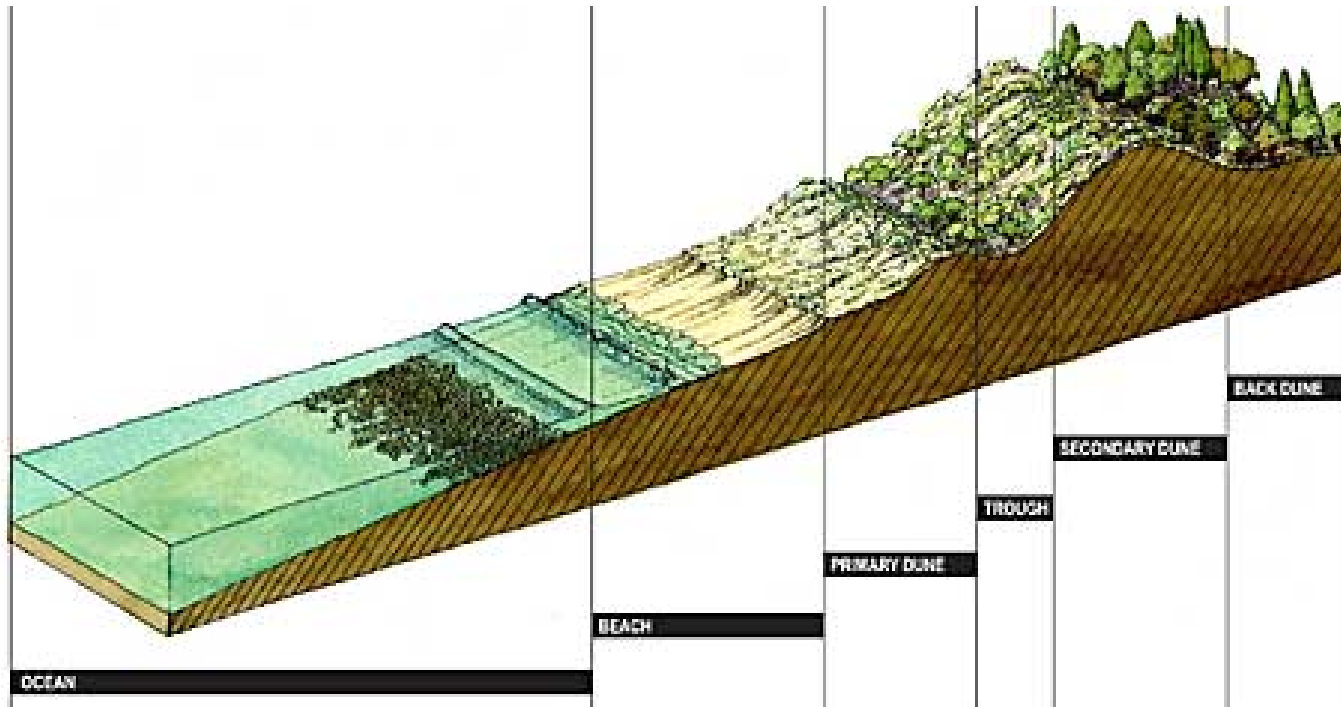


Form-Based Codes



Form-Based Concepts: The Transect

A transect is a cut or path through part of the environment showing a **range of different habitats**. Biologists and ecologists use transects to study the many symbiotic elements that contribute to habitats where certain plants and animals thrive.



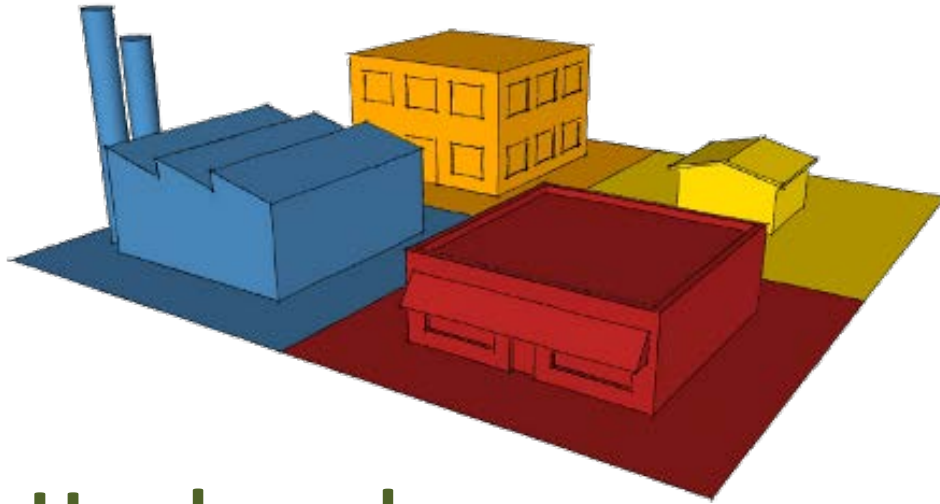
Duany Plater-Zyberk & Company

Form-Based Concepts: The Transect

Base Zones classified on a hierarchy of Form - primarily

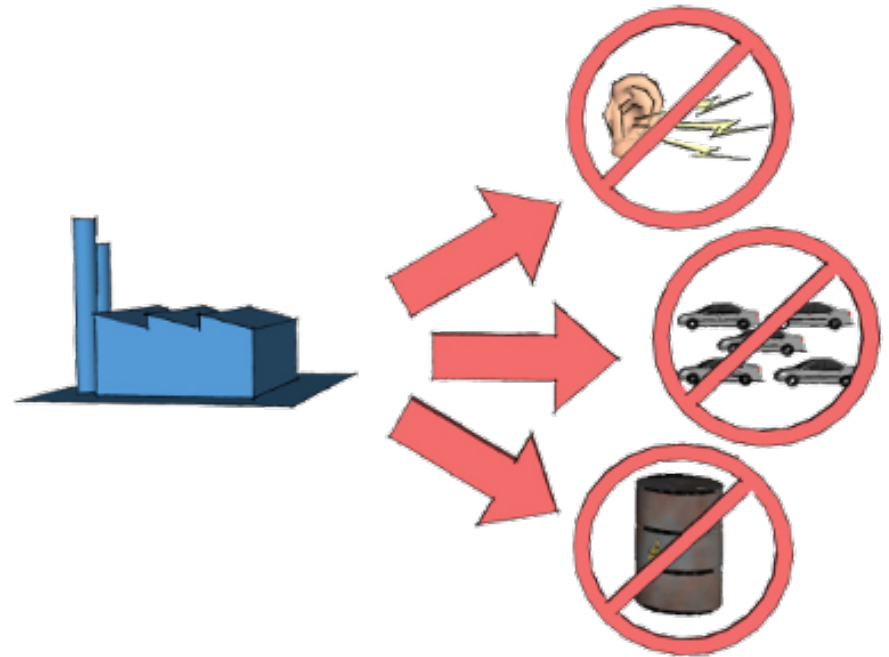


Types of Zoning



Use-based

Strict separation of land uses and site development regulations. Also known as “Euclidean Zoning.”

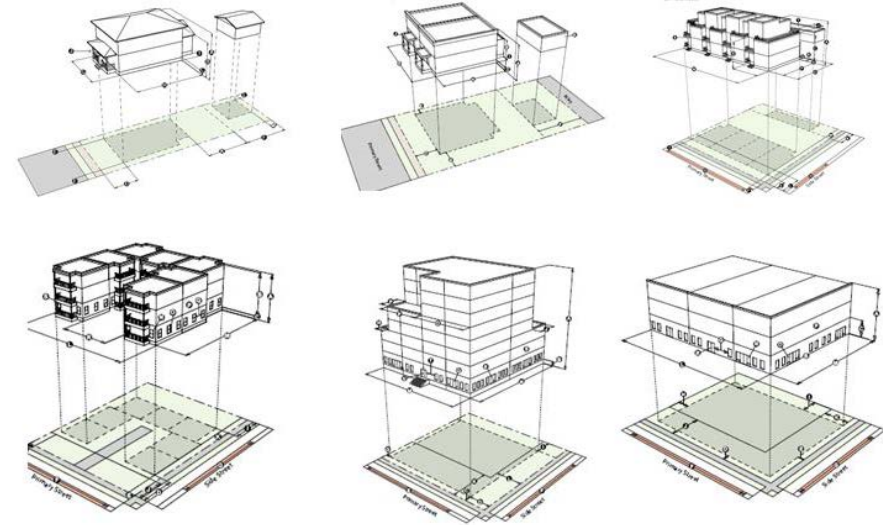
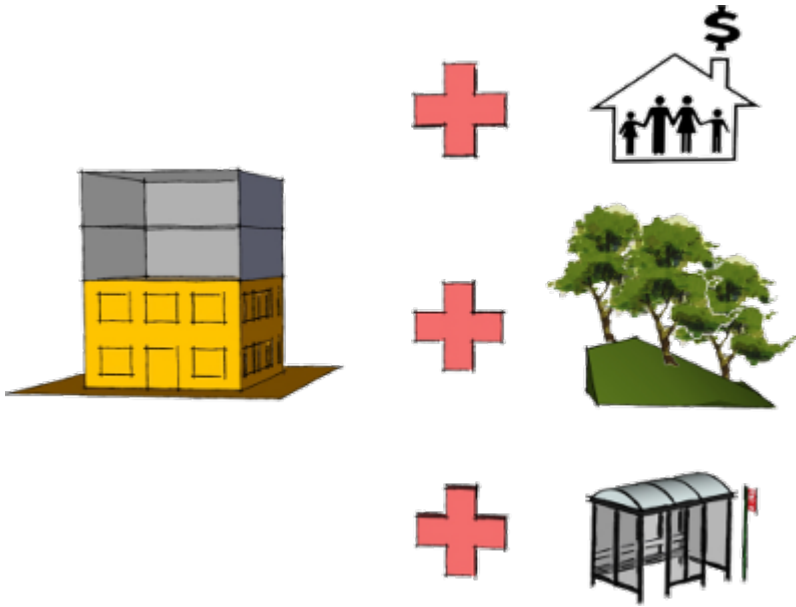


Performance-based

Uses Euclidean as a base and manages impacts of incompatible land uses.

Source: <http://recode.la/updates/news/types-zoning-codes>

Types of Zoning



Incentive-based

Uses Euclidean Zoning as a base. To allow greater diversity and flexibility within those zones, it enables projects to exceed standard requirements if they provide some form of community benefit.

Form-based

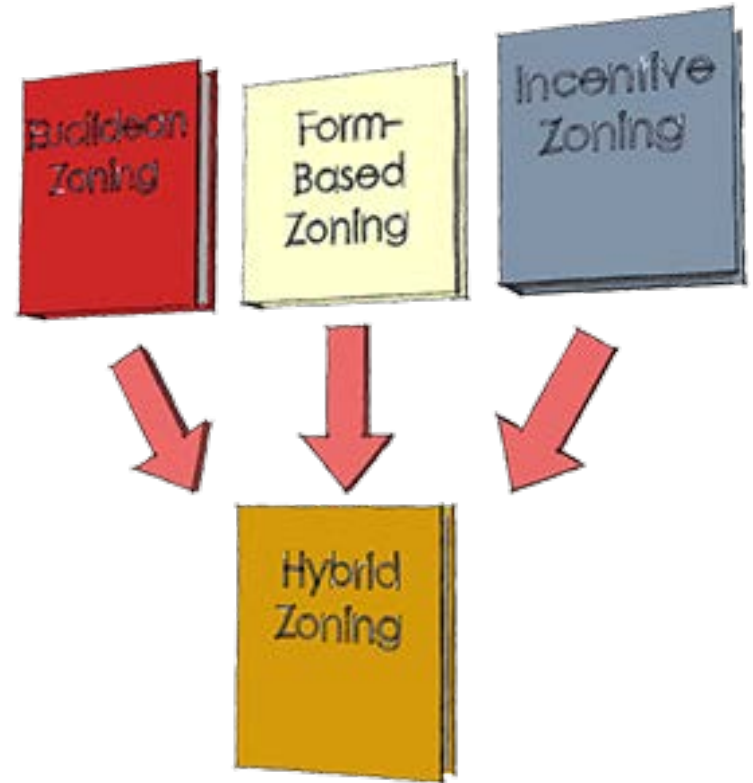
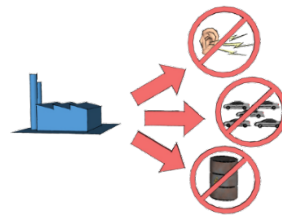
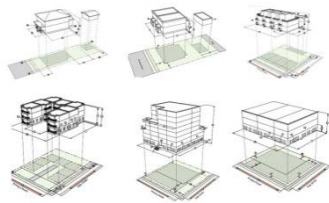
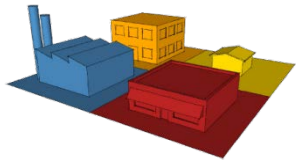
Regulates development by focusing on scale, design, proportion, building placement, and relationship to street and other public spaces. Sometimes referred to as context-sensitive codes or design-based codes.

Source: <http://recode.la/updates/news/types-zoning-codes>

Types of Zoning

Hybrid

Employ traditional Euclidean zoning districts in single-family residential areas while applying form-based zoning standards to more intensely developed centers and corridors



Source: <http://recode.la/updates/news/types-zoning-codes>

Hybrid Code

PLANNING PRACTICE

Going Hybrid

How one city overhauled its zoning code while combining form-based and conventional elements.

By Roger E. Eastman, AICP, with Daniel Parolek and Lisa Wise

FLAGSTAFF, ARIZONA, entered an exclusive club in November. It is now one of the few cities in the U.S. that have adopted a hybrid zoning ordinance with both form-based components and conventional Euclidean elements as part of a complete code rewrite. “Simplified, streamlined, predictable” raved an editorial in the *Arizona Daily Sun* while praising both the code and the process used to adopt it. Getting the new code adopted wasn’t easy, but many city residents think the effort will be repaid in a more efficient, more equitable, and easier-to-use zoning system. The adoption of the new zoning code also caps off a successful public engagement process that has changed the generally negative perception of city planners.

AN UPDATE

...first step in approaching a... differentiating between what... larger walkable... invative suburban” areas... Island Press, 2008)... Flagstaff could... in the walkable... generally leaving the... in place in the

Thus, a new transect-based hybrid code resulted that details to promoting and allowing for walkable urbanism while seamlessly incorporating refined yet otherwise conventional Euclidean zoning tools for the desirable suburban areas. Because the regulations for the two different types of areas are not muddled together, the form-based code could be kept intact—and development opportunities could increase in a manner con-

Flagstaff (pop. 62,000), at an elevation of about 7,000 feet, is the regional hub of northern Arizona. Established as a stop on the early transcontinental railway in 1882 and later Route 66 and Interstate 40, Flagstaff quickly grew as a logging and ranching town, and as a gateway for tourists visiting the Grand Canyon and other national parks and monuments. Residents appreciate the natural beauty of the area and enjoy outdoor pursuits such as hiking, skiing, hunting, fishing, and camping.

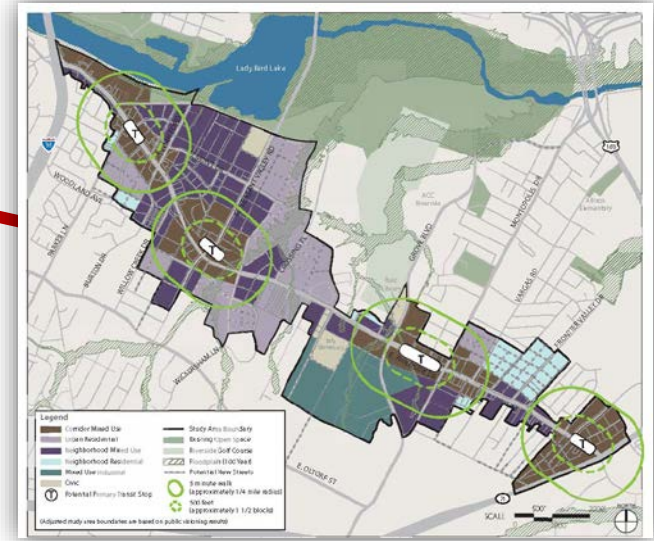
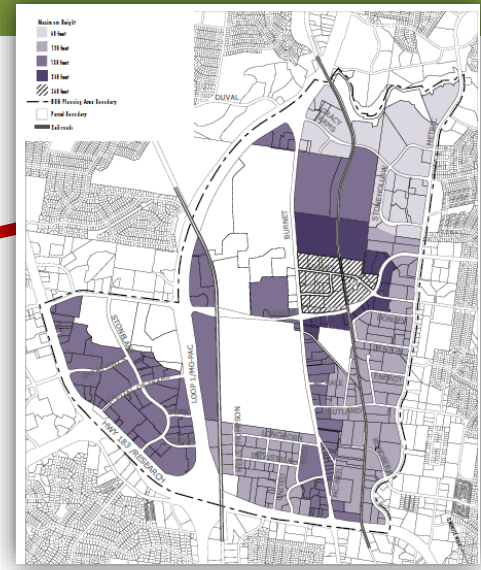
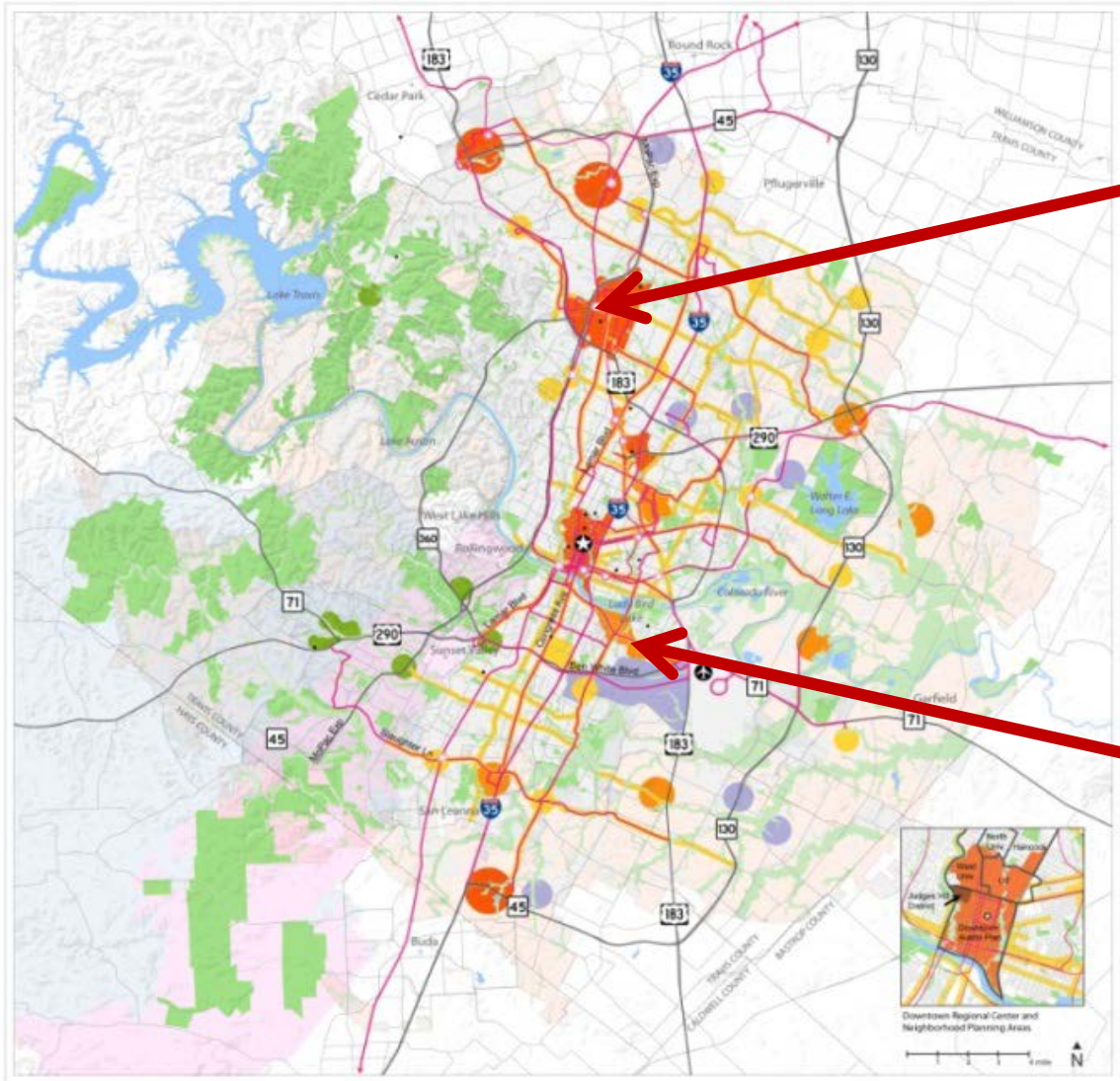
The downtown and oldest neighborhoods were planned with small blocks and lots, and today are valued for their historic buildings and inherently walkable urban character. Typical of many American cities, Flagstaff’s urban form changed after World War II as auto-oriented suburban developments were added to the periphery of the city. Until recently Flagstaff’s zoning ordinances have actively promoted these driveable suburban development patterns.

The need for a comprehensive update of the city’s land development code had been apparent for some time as developers, contractors, design professionals, and residents complained about the code’s complexity and inconsistency. Some even blamed the cumbersome nature of the code for contributing to the high cost of development and the failure of big projects and economic develop-

- Hybrid codes apply different zoning tools in different places within a city.
- Ability for city to “right-size” the zoning tools needed in a predictable and clear manner.

FBC + Euclidian

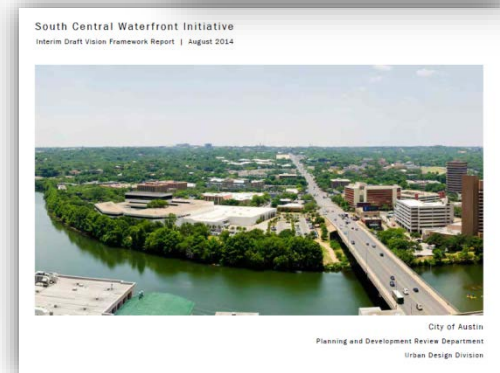
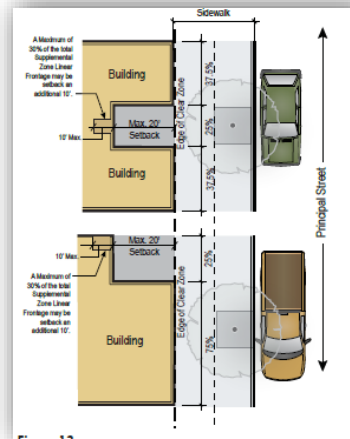
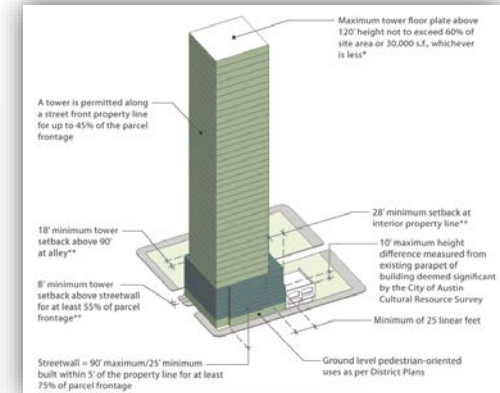
Form-Based Standards in Austin



Form-Based Standards in Austin

Other examples of FBC regulations, standards, vision:

- Subchapter E
 - Subchapter F
 - NCCDs
 - Downtown Austin Plan
 - TODs & Station Area Plans
 - University Neighborhood Overlay
 - South Central Waterfront Initiative
 - Airport Blvd. FBC
- } Not Context-sensitive



[Most of] The Code Today

Zoning

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§ 25-2-787 WAIVERS.

- (A) The owner of an establishment that operated as a lodging house residential use on or before October 1, 1994, may submit to the director an application for a waiver of the requirements prescribed in Section 25-2-782(A), (B), (C), (E), (H), (I), and (J) (*General Requirements*), Section 25-2-783 (Number of Rooms), and Section 25-2-784 (*Parking Requirements*).
- (B) The director shall give notice of a waiver application under Section 25-1-133(A) (*Notice of Application and Administrative Decisions*).
- (C) Except as provided in Subsection (D), a waiver application shall be considered by the director. The director shall grant a waiver application if the director determines that the waiver will not harm the surrounding area. An applicant may appeal the denial of an application by the director to the Land Use Commission.
- (D) If an interested party files a protest of a waiver application, the application shall be considered by the Land Use Commission.
- (E) The Land Use Commission shall review a waiver application filed under this section in accordance with the conditional use process described in Chapter 25-5, Article 3 (*Land Use Commission Approved Site Plans*).
- Source: Ord. 990520-38; Ord. 010607-8; Ord. 031211-11.

Subpart C. Requirements for Short-Term Rental Uses.

§ 25-2-788 SHORT-TERM RENTAL (TYPE 1) REGULATIONS.

- (A) This section applies to a short-term rental use that:
- (1) is rented for periods of less than 30 consecutive days; and

- (2) is owner-occupied or is associated with an owner-occupied principal residential unit.

- (B) A short-term rental use under this section may not:

- (1) include the rental of less than an entire dwelling unit, unless all of the following conditions are met:

- (a) a partial unit must at a minimum include the exclusive use of a sleeping room and shared use of a full bathroom;

- (b) the owner is generally present at the licensed short-term rental property for the duration of any short-term rental of a partial unit;

- (c) not more than one partial unit at the property is simultaneously rented for any period less than 30 consecutive days; and

- (d) rental of the partial unit is limited to a single party of individuals;

- (2) operate without a license as required by Section 25-2-791 (*License Requirements*);

- (3) operate without providing notification to renters as required by Section 25-2-792 (*Notification Requirements*); or

- (4) include a secondary dwelling unit or secondary apartment except as provided by Section 25-2-774(C)(6) (*Two Family Residential Use*) and 25-2-1463(C)(6) (*Secondary Apartment Regulations*).

Source: Ord. 20120802-122; Ord. 20130926-144; Ord. No. 20151119-080, Pt. 4, 11-30-15.

§ 25-2-789 SHORT-TERM RENTAL (TYPE 2) REGULATIONS.

- (A) This section applies to a short-term rental use that:

- (1) is rented for periods of less than 30 consecutive days;

- (2) is not part of a multifamily use; and

- (3) is not owner-occupied and is not associated with an owner-occupied principal residential unit.

- (B) A short-term rental use under this section may not:

- (1) include the rental of less than an entire dwelling unit;

- (2) operate without a license as required by Section 25-2-791 (*License Requirements*);

- (3) operate without providing notification to renters as required by Section 25-2-792 (*Notification Requirements*); or

- (4) include a secondary dwelling unit or secondary apartment except as provided by Section 25-2-774(C)(6) (*Two Family Residential Use*) and 25-2-1463(C)(6) (*Secondary Apartment Regulations*).

Source: Ord. 20120802-122; Ord. 20130926-144; Ord. No. 20151119-080, Pt. 5, 11-30-15.

§ 25-2-790 SHORT-TERM RENTAL (TYPE 3) REGULATIONS.

- (A) This section applies to a short-term rental use that:

- (1) is rented for periods of less than 30 consecutive days; and

- (2) is part of a multifamily use.

- (B) A short-term rental use under this section may not:

- (1) include the rental of less than an entire dwelling unit;

- (2) operate without a license as required by Section 25-2-791 (*License Requirements*); or

- (3) operate without providing notification to renters as required by Section 25-2-792 (*Notification Requirements*).

Source: Ord. 20130926-144.

§ 25-2-791 LICENSE REQUIREMENTS.

- (A) This section applies to a license required under Section 25-2-788 (*Short-Term Rental (Type 1) Regulations*), Section 25-2-789 (*Short-Term Rental (Type 2) Regulations*), and Section 25-2-790 (*Short-Term Rental (Type 3) Regulations*).

- (B) To obtain a license, the owner of a short-term rental use must submit an application on a form provided for that purpose by the director. The application must include the following:

- (1) a fee established by separate ordinance;

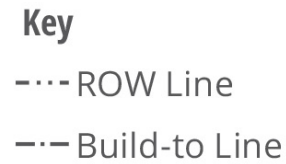
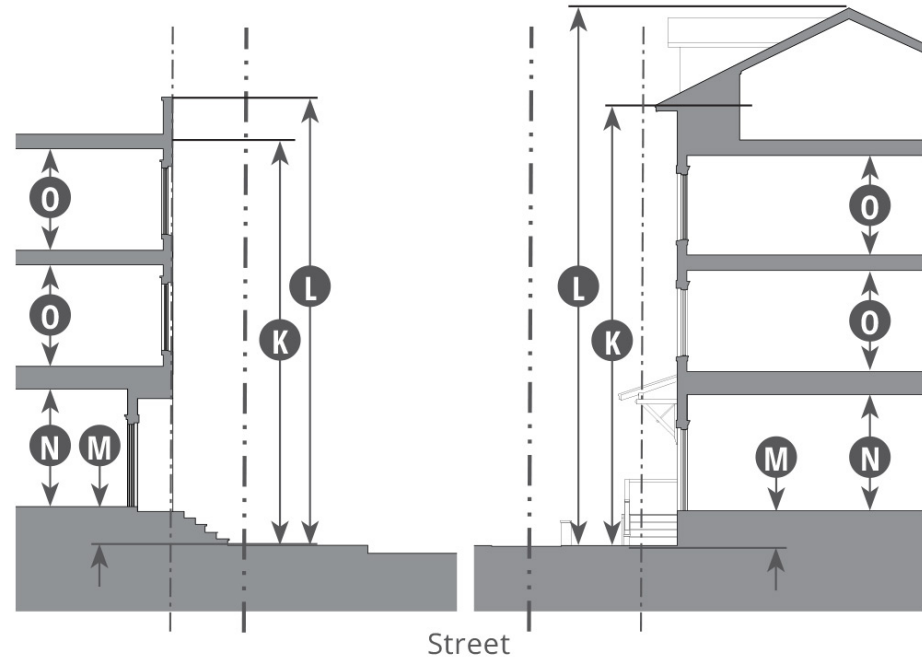
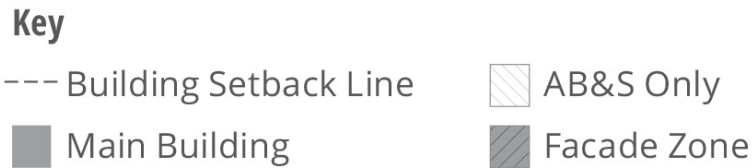
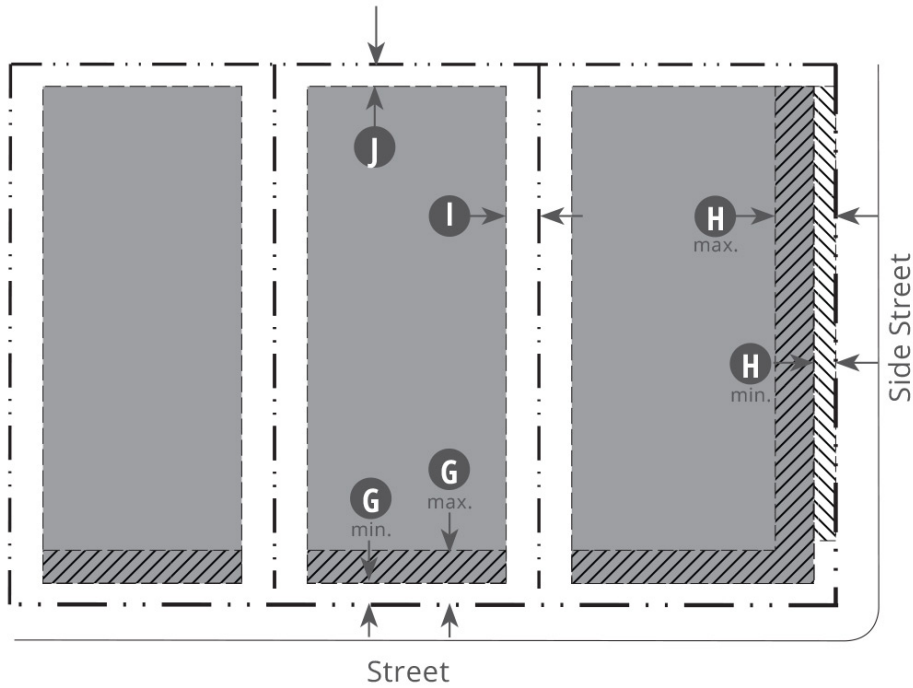
- (2) the name, street address, mailing address, and telephone number of the owner of the property;

- (3) the name, street address, mailing address, and telephone number of a local responsible contact for the property;

- (4) the street address of the short-term rental use;

- (5) proof of property insurance;

Emerging Draft: What you should expect...



Form-Based Standards : What you should expect

Introductory elements:

Types of Places and Context:

- Walkable (Downtown, East Cesar Chavez, Mueller)
- Transitional (Rosedale, Windsor Park)
- Drivable (Slaughter, Lamar, Parmer)

This sets the context to which the standards will apply and you will see a description of each place type.



Form-Based Standards : What you should expect

The Transect Summary Table



- Zone
- General Use
- Intent

- Desired Form
- Rendering
- Photos/Examples

Table: 1703-P.70.A The Cincinnati Transect: Summary Table

← Less Urban → More Urban →

T3 Estate (T3E)	T3 Neighborhood (T3N)	T4 Neighborhood Medium Footprint (T4N.MF)

Table: 1703-P.70.A The Cincinnati Transect: Summary Table (continued)

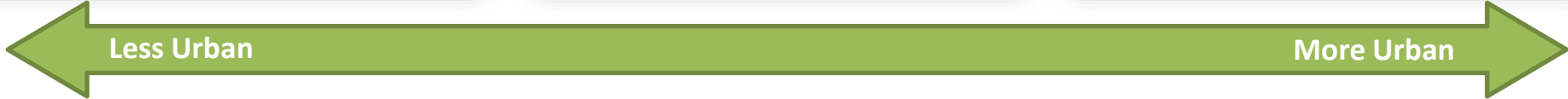
← Less Urban → More Urban →

T4 Neighborhood Small Footprint (T4N.SF)	T5 Main Street (T5MS)	T5 Neighborhood Large Setback (T5N.LS)

Table: 1703-P.70.A The Cincinnati Transect: Summary Table (continued)

← Less Urban → More Urban →

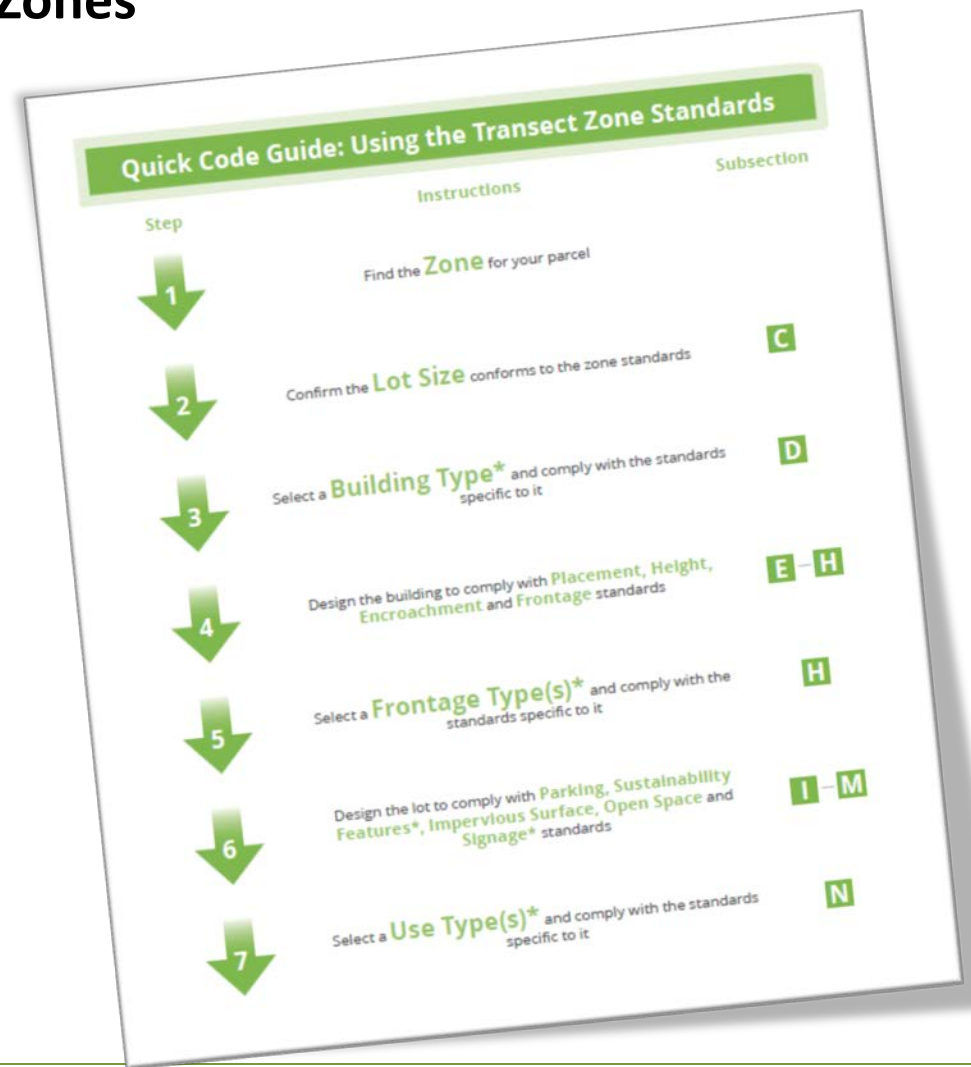
T5 Neighborhood Small Setback (T5N.SS)	T5 Flex (T5F)	T6 Core (T6C)



Form-Based Standards : What you should expect

Quick Guide for Using Transect Zones

- Process
- Where to find standards
- References specific Transect Zones



Form-Based Standards : What you should expect

Format

A **Specific to Building Types** 1703-3.120
Stacked Flats

D

C

Key		Key	
---	ROW / Lot Line	---	ROW / Lot Line
---	Setback Line	---	Setback Line
■	Building	■	Frontage
		□	Open Space

B. Number of Units	
Units per Building	12 min.
Stacked Flat Building per Lot	1 max.
C. Building Size and Massing	
Height	
Height	2 stories min. ¹
¹ Height shall also comply with transect zone standards in Section 1703-2 (Specific to Transect Zones).	
Main Body/Secondary Wing(s)	
Width	200' max. A
Depth	200' max. B
Accessory Structure(s)	
No accessory structures are allowed.	

D. Allowed Frontage Types	
Porch: Projecting	1703-4.50
Stoop	1703-4.70
Forecourt	1703-4.80
E. Pedestrian Access	
Units shall enter from a courtyard or a street.	
Courtyards shall be accessible from the front street. C	
Each unit may have an individual entry.	
F. Private Open Space	
No private open space requirement.	
G. Courtyard(s)	
Width	40' min., 150' max. D
Width-to-Height Ratio	1:2 to 2:1
Depth	40' min., 150' max. E
Depth-to-Height Ratio	1:2 to 3:1
Area (Total)	400 sf min., 50 sf/unit min.

City of Cincinnati Form-Based Code Final Draft 2/15/13 **3-23**

Section 1703-2: Specific to Transect Zones

Subsections:

- 1703-2.10 Purpose
- 1703-2.20 Applicability
- 1703-2.30 Transect Overview
- T3 Estate (T3E)
- 1703-2.50 T3 Neighborhood (T3N)
- 1703-2.60 T4 Neighborhood Medium Footprint (T4N.MF)
- 1703-2.70 T4 Neighborhood Small Footprint (T4N.SF)
- 1703-2.80 T5 Main Street (T5MS)
- 1703-2.90 T5 Neighborhood Large Setback (T5N.LS)
- 1703-2.100 T5 Neighborhood Small Setback (T5N.SS)
- 1703-2.110 T5 Flex (T5F)
- 1703-2.120 T6 Core (T6C)

1703-2.10 Purpose

This Section provides regulatory standards governing building form and other topics, such as land use and signage, within the transect zones. The Form-Based Code is a reflection of the community vision for implementing the intent of the Comprehensive Plan to create places of walkable urbanism. These standards are intended to ensure that proposed development is compatible with existing and future development on neighboring properties, and produces an environment of desirable character.

1703-2.20 Applicability

A. The standards of this Section shall apply to all proposed development within transect zones, and shall be considered in combination with the standards in Sections 1703-3 (Specific to Building Types), 1703-4 (Specific to Frontage Types), and 1703-5 (Supplemental Standards).

B. The standards of this Section shall apply to all proposed development within transect zones, and shall be considered in combination with the standards in Sections 1703-3 (Specific to Building Types), 1703-4 (Specific to Frontage Types), and 1703-5 (Supplemental Standards).

C. Uses...

1703-2.30 Transect Overview

The standards of this Section shall apply to all proposed development within transect zones, and shall be considered in combination with the standards in Sections 1703-3 (Specific to Building Types), 1703-4 (Specific to Frontage Types), and 1703-5 (Supplemental Standards).

City of Cincinnati Form-Based Code

- A** Strong headers and footers explain where you are inside the document.
- B** Table of Contents in each new section.
- C** Clear indenting, section breaks, and labeling.
- D** Clear graphics and illustrations visually explain regulations.

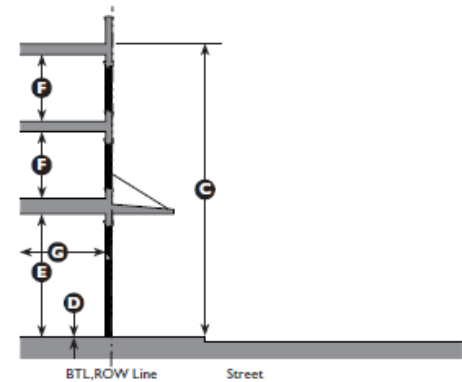
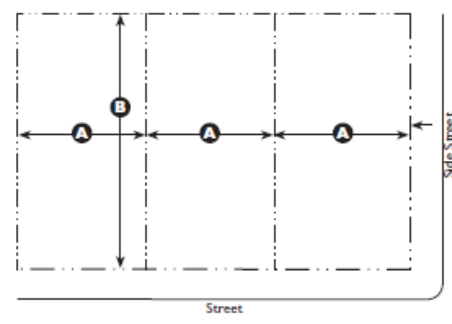
Form-Based Standards : What you should expect

Building Type Standards by T-Zone

This helps **preserve the character of existing neighborhoods** as well as create appropriately scaled development in new neighborhoods and mixed-use areas.



T5 Main Street (T5MS)



Key

---- ROW / Lot Line

C. Allowed Building Types

Building Type	Lot		Standards
	Width A	Depth B	
Main Street	25' min.;	100' min.	1703-3.140
Mixed-Use	150' max.		
Mid-Rise	100' min.;	180' min.	1703-3.160,
	200' max.		1703-3.180

D. Building Form

Height		
Main Building	2 stories min.;	C 5 stories max.
Accessory Structure(s)	1 story max.	
Ground Floor Finish Level	6" max.	
above Sidewalk		D
Ground Floor Ceiling	14' min.	E
Upper Floor(s) Ceiling	8' min.	F

Ground floor lobbies and common areas in multi-unit buildings may have a 0" to 6" ground floor finish level.

Within 20' of the rear Lot Line, buildings may not be more than a half-story taller than the allowed height of adjacent buildings.

Key

---- ROW Line

D. Building Form (continued)

Footprint		
Depth, Ground-Floor Space	40' min.	G

Accessory Structure(s)		
Width	24' max.	
Depth	32' max.	

Miscellaneous

Distance Between Entries, to Ground Floor (Uses)	50' max.
--	----------

Loading docks, overhead doors, and other service entries shall be screened and not be located on primary street facades.

Any buildings wider than 150' must be designed to read as a series of buildings no wider than 75' each.

Form-Based Standards : What you should expect

Building Placement

Because FBCs are intended primarily to regulate the character and **quality of public spaces**, the location and size of the building facades that front the public spaces must be regulated to define and form the edges of that space to meet the desired vision.

These regulations should also consider the **relationship between buildings**, in terms of privacy and the creation of such semi-private spaces as courtyards, the required sizes of rear yards or shared open spaces, the **relationship between the main and ancillary buildings**, and how and where parking is integrated.

E. Building Placement

Setback (Distance from ROW / Lot Line)

Front	15' min.; 30' max.	Ⓚ
Side Street	10' min.; 25' max.	Ⓛ
Side	8' min.	Ⓜ
Rear		Ⓝ
Adjacent to Any T5 or T6 Zone	0' min.	
Adjacent to Any Other Zone	20' min.	
Facade within Facade Zone		
Front	80% min.	
Side Street	50% min.	
Miscellaneous		
Facade zone must be defined by a building within 30' of corner along the front. Ⓚ		
A building form with a chamfered corner is allowed only on corner lots and only if a corner entry is provided.		
Entire ROW must be defined by a building or a 2' to 3' high fence or landscape wall.		
Fence materials shall not include chain link, barbed or razor wire.		
Landscape walls shall have a masonry or stucco finish.		

F. Parking

Required Spaces

Residential Uses	1 per 1500 sf min.
Service or Retail Uses	
≤ 3,500 sf	No spaces required
> 3,500 sf	2 spaces/1,000 sf min. above first 3,500 sf; 4 per 1,000 sf max.

Required parking may be reduced as set forth in Subsection 1703-5.50 (Parking).
For uses not listed above, see Table 1703-5.50.A (Parking Spaces Required).

Location (Distance from Lot Line)

Front Setback	40' min.	Ⓚ
Side Street Setback	5' min.	Ⓛ
Side Setback	0' min.	Ⓜ
Rear Setback		Ⓝ
Adjacent to Any T1, T2, T3 or T4 Zone	5' min.	
Adjacent to Any Other Zone	0' min.	
Miscellaneous		
Curb Cut or Parking Driveway Width		Ⓝ
≤ 40 spaces	14' max.	
> 40 spaces	18' max.	

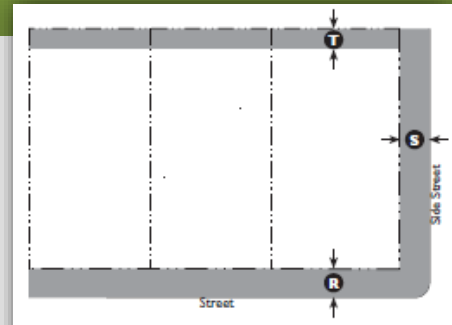
All parking structures must be screened from the front street by habitable space at least 15' deep from street.

Form-Based Standards : What you should expect

Encroachments

Regulates building elements that may extend into the setback, such as balconies and bay windows, typically on all sides of a building. Regulating these helps enable a rich urban form by allowing **appropriate building elements to extend beyond the facade or elevation.**

- Front Encroachment
- Side Street Encroachment
- Side Encroachment
- Rear Encroachment



Key
 ---- ROW / Lot Line ■ Encroachment Area
 ——— Building Setback Line

G. Encroachments			
Encroachment Type	R	S	T
	Front	Side St.	Rear
Frontage			
Shopfront: Awning ¹	14' max.	14' max.	—
Other	10' max.	10' max.	—
Steps to Building Entrance	5' max.	5' max.	—
Architectural Features	3' max.	3' max.	—
Signage ¹	A	A	—
Landscaping	A	A	A
Fences or Freestanding Wall	A ²	A ²	A ³
Driveways, Walkways	A	A	A ⁴
Utility Lines, Wires and Related Structures			
	A	A	A
Satellite Dish Antennas	—	—	A

Encroachments are not allowed within a street ROW, alley ROW or across a Lot Line.

See Section 1703-4 (Specific to Frontage Types) for further refinement of the allowed encroachments for frontage elements.

¹ May encroach into the street ROW to within 2' of the face of curb.

² 4' max. height.

³ 6' max. height.

⁴ Driveway only allowed when access is from an alley.

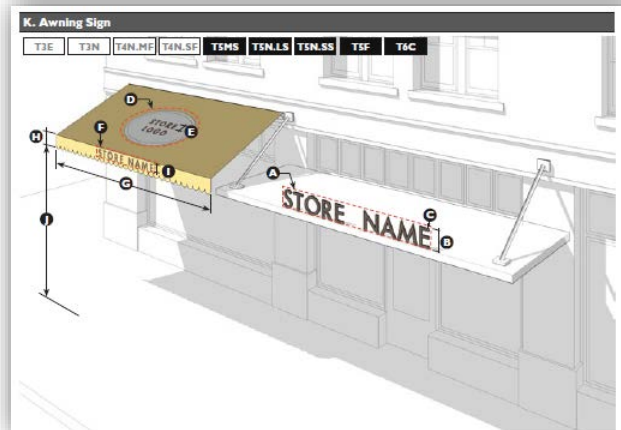
Key A = Allowed — = Not Allowed

Form-Based Standards : What you should expect

Signage

Controls the size, location and design of temporary and permanent signs so that the appearance of such signs will reduce sign clutter, be aesthetically harmonious with their surroundings, and will enhance the overall appearance of the built environment.

References specific standards in other places of the code.



H. Signage

Maximum Sign Area Allowed

Building Signs Max. 1 sf per linear foot of building frontage

Ground Signs Max. 1 sf per linear foot of lot frontage

Allowed Sign Types

Building Signs		
Awning ⁶	1 per awning	1703-5.80.K
Directory ⁶	1 per building	1703-5.80.L
Marquee ⁶	1 per building	1703-5.80.N
Projecting ⁶	1 per entry door	1703-5.80.P
Suspended ⁶	1 per entry door	1703-5.80.R
Wall ^{5,6}	1 per establishment	1703-5.80.S
Wall Mural ⁶	1 per building	1703-5.80.T
Window ⁶	1 per shopfront	1703-5.80.U

Ground Signs

Landscape Wall ⁶	1 per building	1703-5.80.M
Sandwich Board ⁶	1 per establishment	1703-5.80.Q
Yard ⁶	1 per building	1703-5.80.V

See Subsection 1703-5.80 (Signs) for additional standards.

⁵ Changeable copy signs allowed for public and semi-public uses.

⁶ Allowed as identification sign for non-residential uses only.

Form-Based Standards : What you should expect

Frontages: Interface of the private & public realm

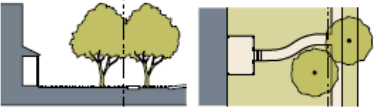








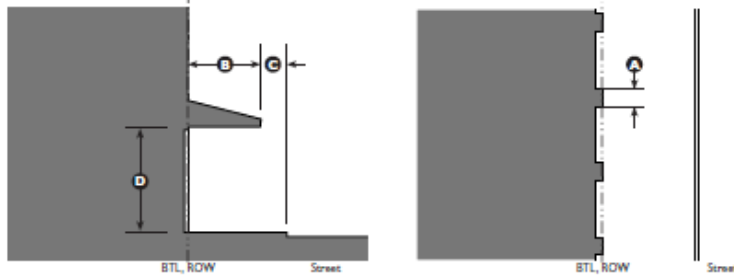
Table 1703-4.30.A: Frontage Types General	
The private frontage is the area between the building facade and the lot line.	
SECTION	PLAN
LOT/ PRIVATE FRONTAGE > < R.O.W.	LOT/ PRIVATE FRONTAGE > < R.O.W.
<p>Common Yard. The main facade of the building has a large planted setback from the frontage line providing a buffer from the higher-speed thoroughfares. The front yard created remains unfenced and is visually continuous with adjacent yards, supporting a common landscape and working in conjunction with the other private frontages.</p> 	
<p>Porch: Projecting. The main facade of the building has a small-to-medium setback from the frontage line. The resulting front yard is typically very small and can be defined by a fence or hedge to spatially maintain the edge of the street. The projecting porch is open on three sides and all habitable space is located behind the setback line.</p> 	
<p>Porch: Engaged. The main facade of the building has a small-to-medium setback from the frontage line. The resulting front yard is typically very small and can be defined by a fence or hedge to spatially maintain the edge of the street. The engaged porch has two adjacent sides of the porch that are engaged to the building while the other two sides are open.</p> 	
<p>Stoop. The main facade of the building is near the frontage line and the elevated stoop engages the sidewalk. The stoop shall be elevated above the sidewalk to ensure privacy within the building. Stairs or ramps from the stoop may lead directly to the sidewalk or may be side-loaded. This Type is appropriate for residential uses with small setbacks.</p> 	
<p>Forecourt. The main facade of the building is at or near the frontage line and a small percentage is set back, creating a small court space. The space could be used as an entry court or shared garden space for apartment buildings, or as an additional shopping or restaurant seating area within retail and service areas.</p> 	

Table 1703-4.30.A: Frontage Types General (continued)	
The private frontage is the area between the building facade and the lot line.	
SECTION	PLAN
LOT/ PRIVATE FRONTAGE > < R.O.W.	LOT/ PRIVATE FRONTAGE > < R.O.W.
<p>Dooryard. The main facade of the building is set back a small distance and the frontage line is defined by a low wall or hedge, creating a small dooryard. The dooryard shall not provide public circulation along a ROW. The dooryard may be raised, sunken, or at grade and is intended for ground-floor residential.</p> 	
<p>Lightwell. The main facade of the building is set back from the frontage line by an elevated terrace or a sunken lightwell. This Type buffers residential, retail or service uses from urban sidewalks and removes the private yard from public encroachment.</p> 	
<p>Shopfront. The main facade of the building is at or near the frontage line with an at-grade entrance along the public way. This Type is intended for retail use. It has substantial glazing at the sidewalk level and may include an awning that may overlap the sidewalk. It may be used in conjunction with other frontage types. Syn: Retail Frontage, Awning.</p> 	
<p>Terrace. The main facade of the building is at or near the frontage line with an elevated terrace providing public circulation along the facade. This Type can be used to provide at-grade access while accommodating a grade change. Frequent steps up to the terrace are necessary to avoid dead walls and maximize access. This Type may also be used in historic industrial areas to mimic historic loading docks.</p> 	

Form-Based Standards : What you should expect

Frontages: Specific Standards

1703-4.110 Shopfront



Key

--- ROW / Lot Line --- Setback Line/BTL

A. Description

In the Shopfront Frontage Type, the main facade of the building is at or near the frontage line with an at-grade entrance along the public way. This Type is intended for retail use. It has substantial glazing at the sidewalk level and may include an awning that may overlap the sidewalk. It may be used in conjunction with other frontage types.

B. Size

Distance between Glazing	2' max.	A
Ground Floor Transparency	75% min.	
Depth of Recessed Entries	5' max.	

C. Awning

Depth	4' min.	B
Setback from Curb	2' min.	C
Height, Clear	8' min.	D

D. Miscellaneous

- Residential windows shall not be used.
- Doors may be recessed as long as main facade is at BTL.
- Operable awnings are encouraged.
- Open-ended awnings are encouraged.
- Rounded and hooped awnings are discouraged.
- Shopfronts with accordion-style doors/windows or other operable windows that allow the space to open to the street are encouraged.

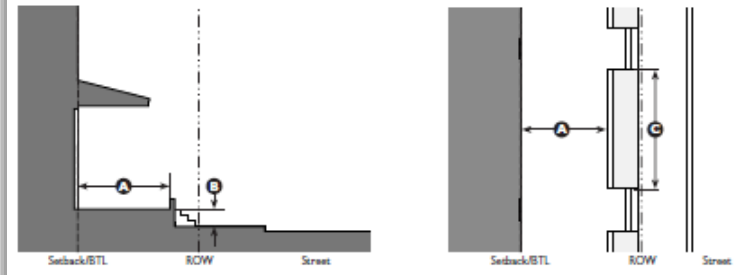


An example of a shopfront with a recessed doorway



An example of a shopfront with formal pilastered bays

1703-4.120 Terrace



Key

--- ROW / Lot Line --- Setback Line/BTL

A. Description

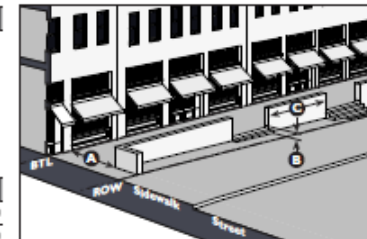
In the Terrace Frontage Type, the main facade is at or near the frontage line with an elevated terrace providing public circulation along the facade. This Type can be used to provide at-grade access while accommodating a grade change. Frequent steps up to the terrace are necessary to avoid dead walls and maximize access. This Type may also be used in historic industrial areas to mimic historic loading docks.

B. Size

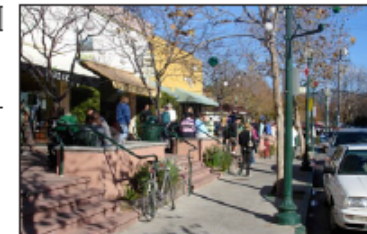
Depth, Clear	8' min.	A
Finish Level above Sidewalk	3' 6" max.	B
Length of Terrace	150' max.	
Distance between Stairs	50' max.	C

C. Miscellaneous

- These standards are to be used in conjunction with those for the Shopfront Frontage Type. In case of conflict between them, the Terrace Frontage Type standards shall prevail.
- Low walls used as seating are encouraged.



A terrace accommodating a grade change along a series of shopfronts



The terrace is being used to accommodate a change in grade. The low walls are used to provide seating.

Form-Based Standards : What you should expect

Civic Space Standards: Squares, parks, plazas, etc.

- Illustration
- Description
- Size and location
- Typical uses (not land uses)
- Stormwater Management

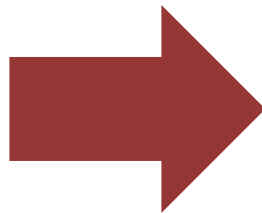
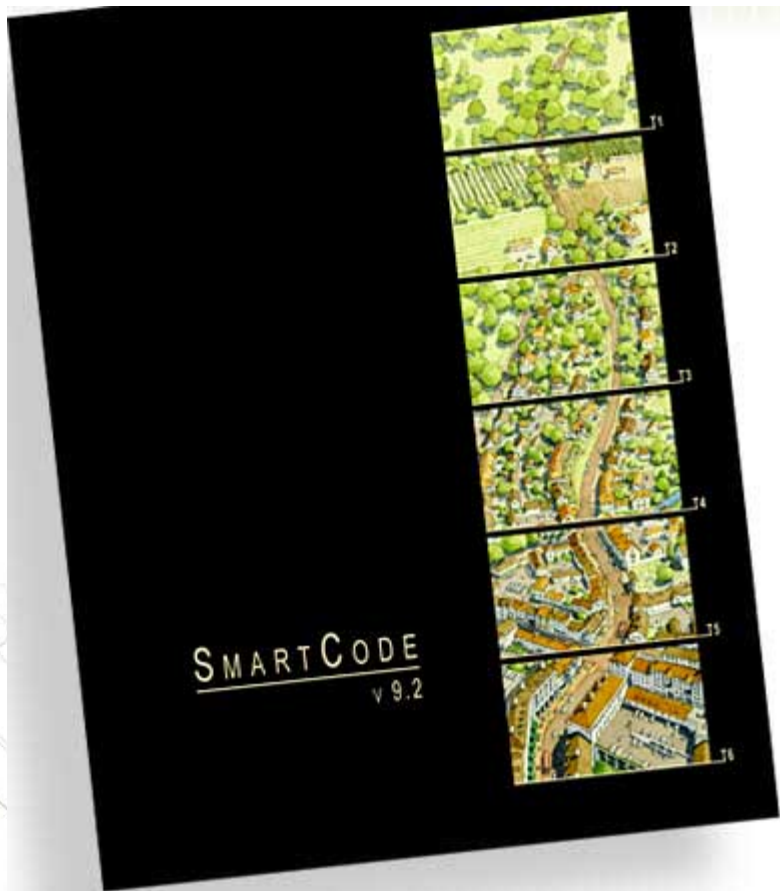


Table 10-70.10.030.A Civic Spaces (continued)			
TRANSECT ZONE	T1 T2 T3 T4 T5 T6	T1 T2 T3 T4 T5 T6	T1 T2 T3 T4 T5 T6
Civic Space Type	Square	Plaza	Pocket Plaza
Illustration			
Description	An open space available for unstructured recreation and civic purposes.	An open space available for civic purposes and commercial activities.	An open space available for civic purposes and commercial activities.
Size and Location			
Size			
Minimum	1/2 acre	1/2 acre	4,000 sf
Maximum	5 acres	2-1/2 acres	1/2 acre
Frontage	Independent	Independent/Building Frontage	Building Frontage
Character	Formal	Formal	Formal
Typical Uses			
	Passive/Active (Unstructured) Open Space, Civic Uses, Paths, Community Gardens, Playgrounds, Public Art	Passive/Active (Unstructured) Open Space, Civic Uses, Commercial Uses, Community Garden, Playground, Public Art	Passive/Active (Unstructured) Open Space, Civic Uses, Commercial Uses, Community Garden, Playground, Public Art
Stormwater Management			
	French Drains, Porous Pavements, and Landscaping	French Drains, Porous Pavements, and Landscaping	French Drains, Porous Pavements, and Landscaping

Best Practice Examples: The Smart Code



SMARTCODE TABLES 10 & 11. BUILDING FUNCTION & PARKING CALCULATIONS

Municipality

TABLE 10: Building Function. This table categorizes Building Functions within Transect Zones. Parking requirements are correlated to functional intensity. For Specific Function and Use permitted By Right or by Warrant, see Table 12.

	T2 T3	T4	T5 T6
a. RESIDENTIAL	Restricted Residential: The number of dwellings on each Lot is restricted to one within a Principal Building and one within an Accessory Building, with 2.0 parking places for each. Both dwellings shall be under single ownership. The habitable area of the Accessory Unit shall not exceed 440 sq. ft., excluding the parking area.	Limited Residential: The number of dwellings on each Lot is limited by the requirement of 1.5 parking places for each dwelling, a ratio which may be reduced according to the shared parking standards (See Table 11).	Open Residential: The number of dwellings on each Lot is limited by the requirement of 1.0 parking places for each dwelling, a ratio which may be reduced according to the shared parking standards (See Table 11).
b. LODGING	Restricted Lodging: The number of bedrooms available on each Lot for lodging is limited by the requirement of 1.0 assigned parking place for each bedroom, up to five, in addition to the parking requirement for the dwelling. The Lodging must be owner occupied. Food service may be provided in the a.m. The maximum length of stay shall not exceed ten days.	Limited Lodging: The number of bedrooms available on each Lot for lodging is limited by the requirement of 1.0 assigned parking places for each bedroom, up to twelve, in addition to the parking requirement for the dwelling. The Lodging must be owner occupied. Food service may be provided in the a.m. The maximum length of stay shall not exceed ten days.	Open Lodging: The number of bedrooms available on each Lot for lodging is limited by the requirement of 1.0 assigned parking places for each bedroom. Food service may be provided at all times. The area allocated for food service shall be calculated and provided with parking according to Retail Function.
c. OFFICE	Restricted Office: The building area available for office use on each Lot is restricted to the first Story of the Principal or the Accessory Building and by the requirement of 3.0 assigned parking places per 1000 square feet of net office space in addition to the parking requirement for each dwelling.	Limited Office: The building area available for office use on each Lot is limited to the first Story of the principal building and/or to the Accessory building, and by the requirement of 3.0 assigned parking places per 1000 square feet of net office space in addition to the parking requirement for each dwelling.	Open Office: The building area available for office use on each Lot is limited by the requirement of 2.0 assigned parking places per 1000 square feet of net office space.
d. RETAIL	Restricted Retail: The building area available for Retail use is restricted to one Block corner location at the first Story for each 300 dwelling units and by the requirement of 4.0 assigned parking places per 1000 square feet of net Retail space in addition to the parking requirement of each dwelling. The specific use shall be further limited to neighborhood store, or food service seating no more than 20.	Limited Retail: The building area available for Retail use is limited to the first Story of buildings at corner locations, not more than one per Block, and by the requirement of 4.0 assigned parking places per 1000 square feet of net Retail space in addition to the parking requirement of each dwelling. The specific use shall be further limited to neighborhood store, or food service seating no more than 40.	Open Retail: The building area available for Retail use is limited by the requirement of 3.0 assigned parking places per 1000 square feet of net Retail space. Retail spaces under 1500 square feet are exempt from parking requirements.
e. CIVIC	See Table 12	See Table 12	See Table 12
f. OTHER	See Table 12	See Table 12	See Table 12

TABLE 11: Parking Calculations. The Shared Parking Factor for two Functions, when divided into the sum of the two amounts as listed on the Required Parking table below, produces the Effective Parking needed for each site involved in sharing. Conversely, if the Sharing Factor is used as a multiplier, it indicates the amount of building allowed on each site given the parking available.

	REQUIRED PARKING (See Table 10)		
	T2 T3	T4	T5 T6
RESIDENTIAL	2.0 / dwelling	1.5 / dwelling	1.0 / dwelling
LODGING	1.0 / bedroom	1.0 / bedroom	1.0 / bedroom
OFFICE	3.0 / 1000 sq. ft.	3.0 / 1000 sq. ft.	2.0 / 1000 sq. ft.
RETAIL	4.0 / 1000 sq. ft.	4.0 / 1000 sq. ft.	3.0 / 1000 sq. ft.
CIVIC	To be determined by Warrant		
OTHER	To be determined by Warrant		

SHARED PARKING FACTOR		
Function	with	Function
RESIDENTIAL		RESIDENTIAL
LODGING		LODGING
OFFICE		OFFICE
RETAIL		RETAIL

SMARTCODE VERSION 9.2

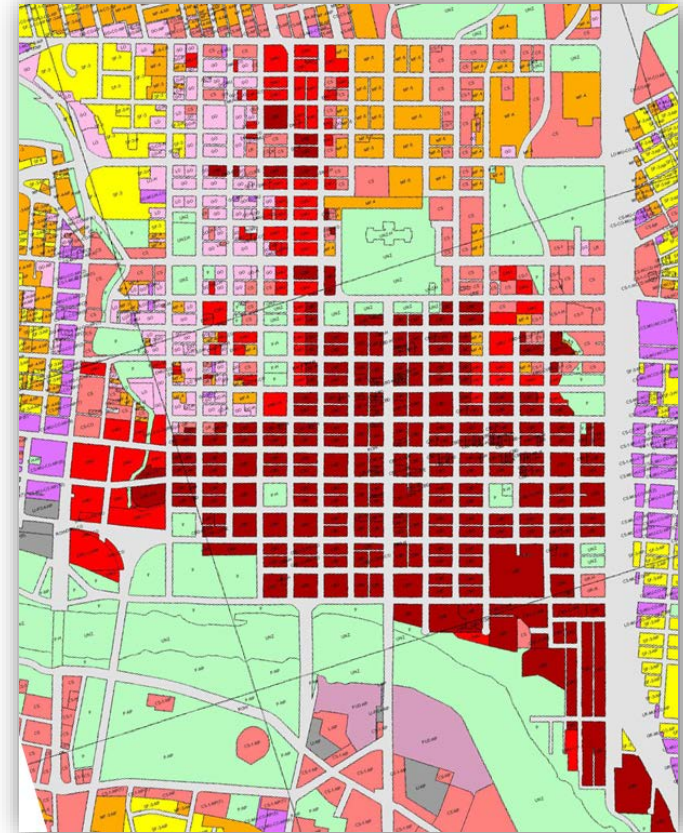
SC39

<http://transect.org/codes.html>

Conventional Zones - Updated

The conventional zones will look different

- Land uses will be modified
- Parking standards may be tweaked
- Site development regulations updated
- Subdivision: Connectivity and block design
- Physical characteristics of community infused:
 - Sidewalks
 - Trails
 - Landscaping
- Nomenclature may be updated
 - SF => Residential: R3?
 - Combination of some commercial-based districts



Next Steps

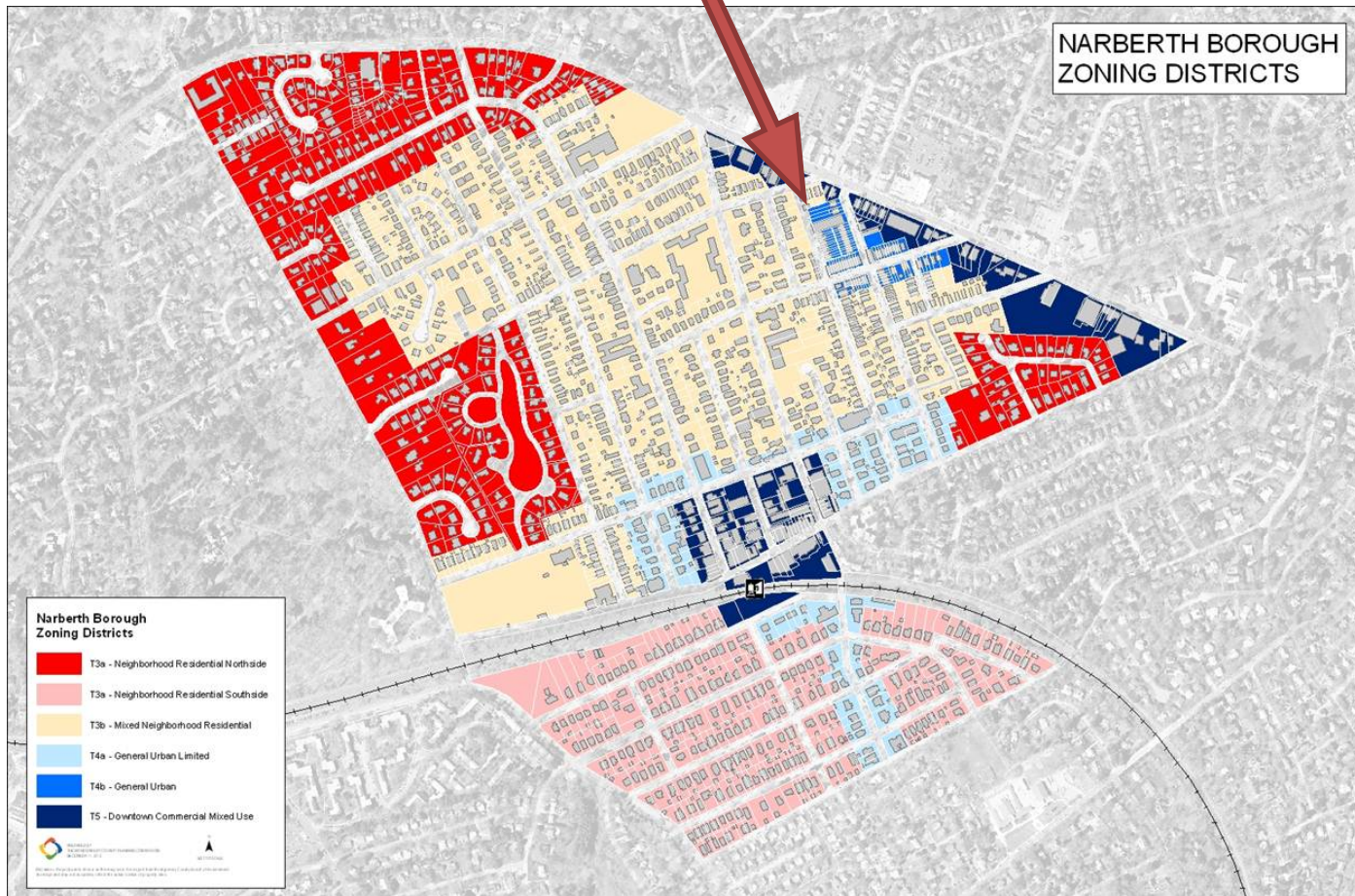
- September 2016: Release of Fiscal Health Prescription
- **January 2017:** Draft Code Ready for Public Review
- Q1 and Q2 2017: Draft Code Outreach
- Q3 2017: Draft Code Revision
- Q4 2017: Draft Code Presentation to Council



What about mapping?

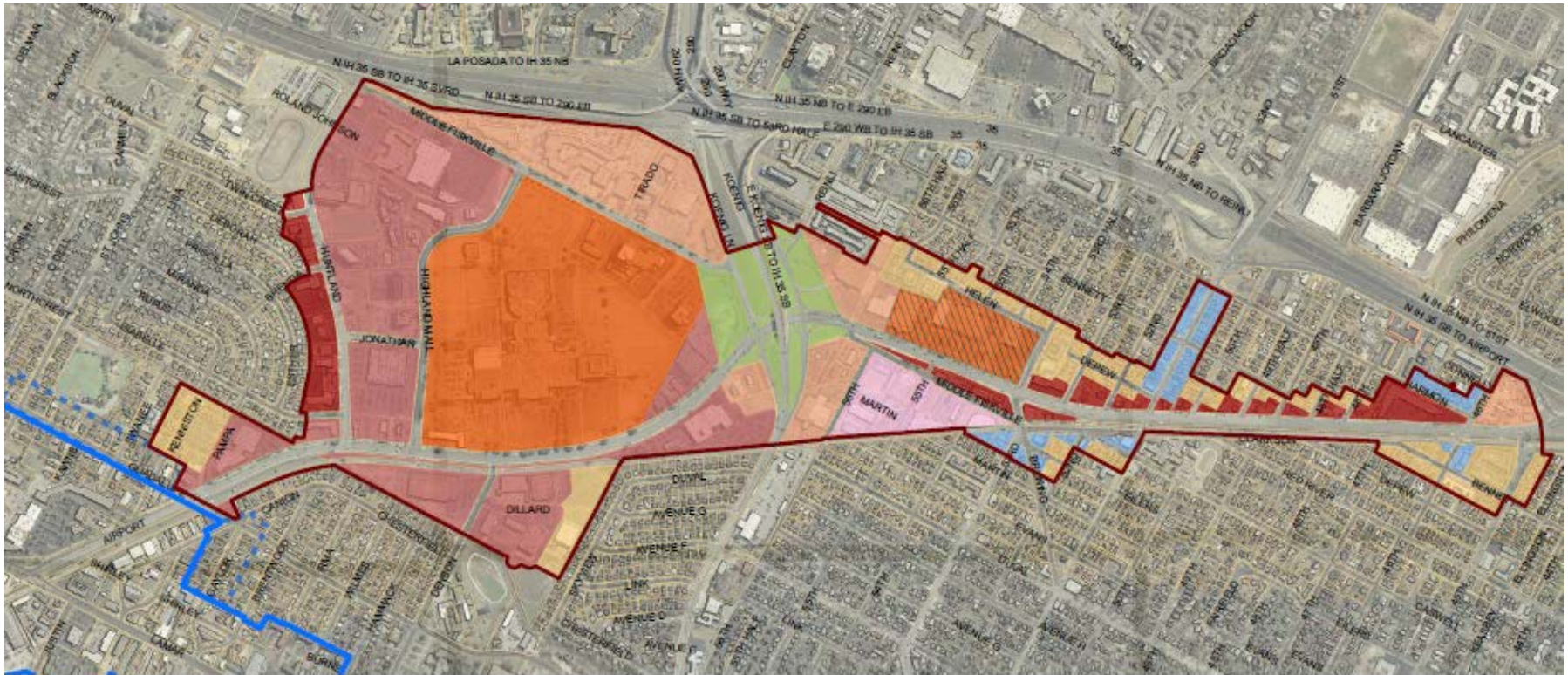
Mapping: 2018 -- ???

CS-MU-V-CO-NP → T5 – Main Street?



What about mapping?

Airport Blvd. Example



Questions?

CODENEXT
SHAPING THE AUSTIN WE IMAGINE
Code Development Team

